



September 14, 2023

File No.: PLDP20230321

Attention: Adjacent Landowners

Dear Sir/Madam:

RE: Proposed Development Permit - Communication Tower

Landowner: INTER-VARSITY MINISTRIES FOUNDATION
INTER-VARSITY MINISTRIES FOUNDATION c/o Ruth Lewis

Applicant: LANDSOLUTIONS INC. c/o Kristina Schmidt

Legal: SW 10-32-6-5

The applicants are proposing a +/- 90-meter guyed tower with associated equipment shelter. The tower is located on SW 10-32-6-5, occupying a 200-meter by 200-meter area enclosed by 1.8-meter-high security fencing and will be lighted as determined by Transport Canada and NAV Canada.

Mountain View County has received a discretionary use Development Permit application for the above noted property located within the vicinity of your property. As you are an adjacent landowner, we are notifying you of this proposal and invite you to provide comment. The proposal can be viewed or downloaded from our website at <https://www.mountainviewcounty.com/p/file-circulations>.

You can also contact the Development Officer to request a copy of the proposal be mailed or emailed to you or you may view the information at the County Office during office hours. **A request for a copy to be mailed will not result in an extension of the deadline date for written comment.**

If you would like to provide comments regarding this proposal, a written submission can be submitted any time prior to October 4th, 2023. Comments may be sent to:

Email: jreimer@mvcountry.com; or

In Person: 10-1408 Township Road 320 (Bergen Road); or

Mail: Postal Bag 100, Didsbury AB T0M 0W0

Please include your contact information including your address, telephone number, and email address so that we can provide you with notice of meetings regarding this file. Your letter will be submitted to the Approving Authority when it considers this application as it becomes part of the public record for this file and it will be shared with the applicant and/or landowner.

If you require any clarification on this file, or the collection of personal information for the purposes outlined below, contact me at 403-335-3311 ext. 171 or via email at jreimer@mvcountry.com.

Sincerely,



Jaydan Reimer, Development Officer
Planning and Development Services

/jr

Enclosure

Please note:

Any personal information submitted as a part of this circulation is collected under the authority of Section 33(c) of the Alberta Freedom of Information and Protection of Privacy Act (FOIP) and will be used to review and evaluate this application. By providing the above personal information, **the applicant consents to the information being made available to the landowner and/or applicant, the public and Approving Authority in its entirety** under Section 17(2) of the Alberta Freedom of Information and Protection of Privacy Act.





DEVELOPMENT PERMIT APPLICATION

10-1408 Twp. Rd. 320, Postal Bag 100, Didsbury, AB Canada T0M 0W0
T 403.335.3311 F 403.335.9207 Toll Free 1.877.264.9754
www.mountainviewcounty.com

Application Date:

PLDP20230321

Discretionary

Permitted

Submission Requirements

Application form	Abandoned Oil/Gas Well Information from AER
Development Permit fees	Applicant's signature
Certificate of Title - current within 30 days	Registered Landowner's signature(s) (if required)
Site Plan	Supplemental Forms - for Secondary Suites or Business Uses (if required)

Contact Details

NAME OF APPLICANT(s):

Address:

Town/City:

Postal Code:

Phone #:

Alternate Phone #:

Email:

LANDOWNER(s) (if applicant is not the landowner):

Address:

Town/City:

Postal Code:

Phone #:

Alternate Phone #:

Email:

Site Information & Development Details

RURAL ADDRESS:

LEGAL: Section: Township: Range: West of Meridian

Plan: Block: Lot: Parcel Size:

Is property adjacent to a developed County or Provincial Road?

Existing BUILDINGS:

Number of Existing DWELLINGS:

PROPOSED DEVELOPMENT:

(what are you applying for)

Proposed and Existing Setbacks

Indicate distance in meters and/or feet from Property Lines:

Front:

Rear:

Side:

Side:

Proposed Construction Details

Type of STRUCTURE:

If Dwelling, what type:

If Other, describe:

Foundation/Basement:

Square Footage:

Building Height:

*If Mobile Home: Year:

Size:

Model:

Serial Number:

Name/Make of Unit:

*If "Move-On" Home: - submit photographs of the dwelling

Year Built:

Name of Mover:

Present Location of Dwelling:

Abandoned Oil/Gas Well Information

Have you contacted the AER (Website) to determine if you have an abandoned oil and/or gas well?

- Is there an abandoned oil/gas well on the property?
- If yes, identify it on your site sketch and provide the Name of Licensee:

We require a printout of the mapping from the AER Website. To get this information go to the following website:

<https://extmapviewer.aer.ca/AERAbandonedWells/Index.html>

Other Details

Are any of the following uses within one (1) mile of the proposed development:

- Gas Facilities/Pipelines Distance:
- Confined Feeding Operations: Distance:

Sewage System:

Type:

If other:

Water Supply:

Type:

If other:

Has proposed development started? No

Estimated start date: Spring 2024

Estimated completion date: Summer 2024

Estimated cost of project: ~\$100K

Right of Entry Agreement

I hereby grant approval for Mountain View County staff to access the property for a Site Inspection:

Please note: there may be additional forms required for your proposal. Once your proposal has been reviewed by County staff, you may receive an email requesting more information.



Rogers Communications Inc.
Proposed 90m Guyed Telecommunications Facility
August 29, 2023

Jaydan Reimer - Development Officer
Mountain View County
Box 100
Didsbury, AB T0M 0W0
jreimer@mvcounty.com

LandSolutions Inc. on behalf of Rogers Communications Inc. (Rogers) is pleased to submit to you this submission package to facilitate Land Use Authority review and request for Concurrence.

Rogers File:	W6315 – Pioneer Camp Lodge
Legal Description:	SW ¼ Sec 10 Twp 32 Rge 6 W5M
Coordinates:	Latitude: 51.724403, Longitude: -114.772503

Rogers Communications Inc. is following Mountainview County's Land Use Bylaw No. 16/18 Schedule A, Section 10.8 Communication Tower and Innovation and Science and Economic Development Canada's (ISED) Radiocommunication and Broadcasting Antenna Systems CPC-2-0-03-i5. In accordance to the protocol, Municipal Staff, Councillor, MP, MLA and ISED and all residents within a radius of 1.6km (1 mile) from the base of the Proposed Installation. LandSolutions Inc. on behalf of Rogers is proposing the placement of a 90m guyed tower on the property described above. A newspaper advertisement was posted in the Albertan Newspaper.

In consideration of LandSolutions Inc.'s site acquisition process and municipal policy, the proposed facility is in the most suitable location and has been designed with consideration to current and proposed land uses. When complete, the facility will provide enhanced wireless network coverage and capacity for the surrounding community.

Sincerely,

LandSolutions Inc. on behalf of Rogers Communications Inc.

Kristina Schmidt, MCIP
Municipal Affairs Specialist
LandSolutions Inc.
1420, 333 11th Avenue SW
Calgary, Alberta, T2R 1L9
T: (403) 290-0008
F: (403) 290-0050
E: comments@landsolutions.ca

Enclosed:
Public Notification Package
Consultation Tracker
Newspaper Advertisement
Comments Received
Response
Letter of Authorization
Title
Drawings
Survey
Site Photos

July 13, 2023



**Public Notification Package for
Proposed Wireless Communications Installation
SW 10-32-06 W5M
Rogers Site: W6315**

Rogers Communications Inc. | Suite 600, 500 4th Avenue SW Calgary, AB T2P 2V6

1. Introduction

Rogers Communications is proposing to construct a new wireless communications installation at SW 10-32-06 W5M (the “Proposed Installation”) in order to fill significant wireless coverage gaps in the area and meet the rising demand for wireless voice and data services.

This notification package sets out the pertinent details about the Proposed Installation and invites the public to submit their written comments and concerns about the Proposed Installation by August 18, 2023.

Purpose of Proposed Installation and Site Selection

Based on recent feedback we have received from subscribers, as well as data we have collected on dropped calls and call quality in the area, we have determined that there are significant wireless coverage deficiencies within the area. The Proposed Installation will correct these deficiencies and allow us to provide much better service to our subscribers, including people in residences, businesses, schools, government agencies and emergency first responders.

Designing a wireless network would be similar to assembling a 3D jigsaw puzzle. Cell towers and antenna installations must be located near one another so that they are able to provide contiguous service without any holes or gaps in coverage. They must also be set at elevations that are high enough to deliver the signals to a wide service area.

Following a survey of the area, we identified the Proposed Installation site - currently zoned as Parks and Recreation - as the most viable candidate to meet our network coverage requirements. It will provide connectivity for an area that is currently experiencing below-average service levels and cannot be served by existing antenna sites as they are too distant and overloaded.

The location for the Proposed Installation offers technical and operations advantages, including proximity to roads for viable access for construction and maintenance, hydro connections, etc., thus reducing the need for further impact on the area. The Proposed Installation will not result in any interference or impact to the current use of the property.

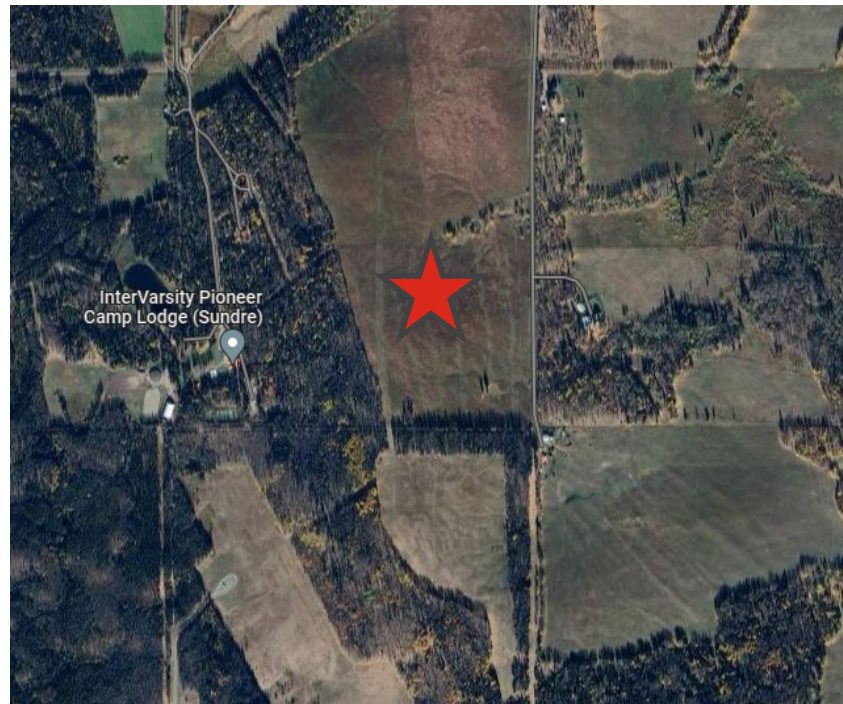
2. Location of Proposed Installation

The location of the Proposed Installation is described below:

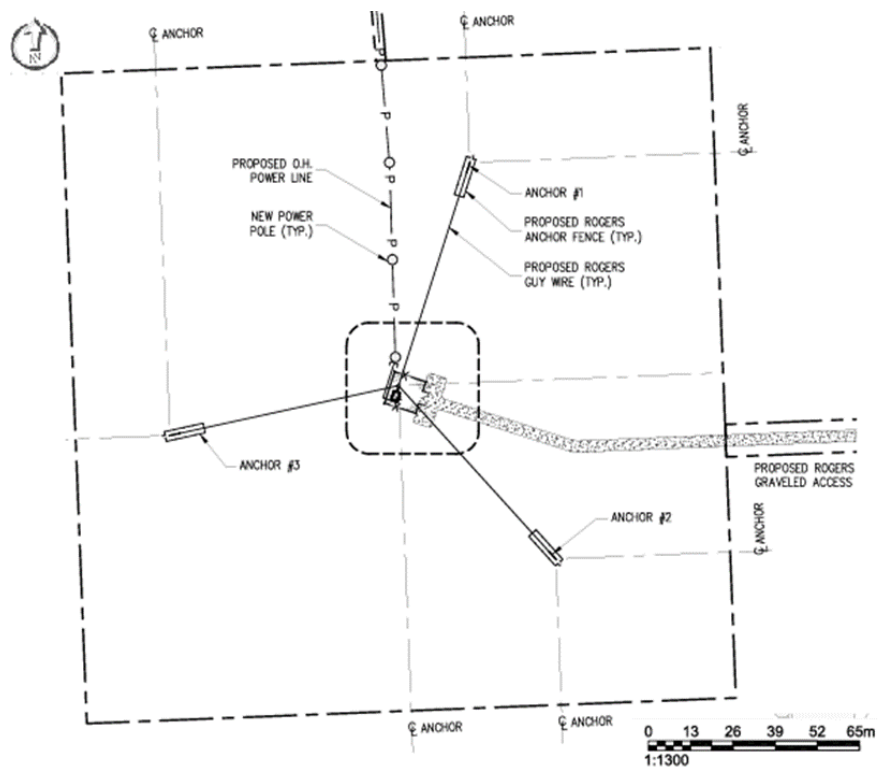
Legal description:	SW 10-32-06 W5M
Geographic coordinates:	51.724403, -114.772503

The Proposed Installation is shown on the drawings below. The Land Use Zoning is: Parks and Recreation

Aerial photograph showing Proposed Installation Location



Drawing showing Proposed Installation Layout



3. Description of Proposed Antenna System

(a) Structure

The underlying structure for the Proposed Installation is a 90m guyed tower, operating at a frequency of 700Mhz for the initial installation.

(b) Antenna system

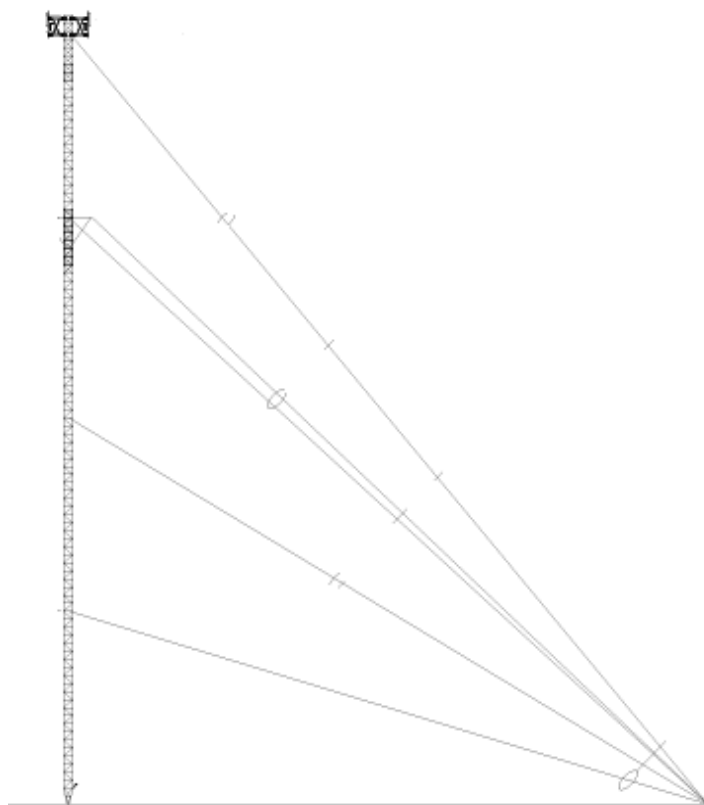
The antenna system will initially include six (6) initial antennas, one (1) GPS antenna and one (1) microwave antenna, with provisions for future technology services. The diagram/photo below illustrates how the antennas will look when mounted on the tower.

(c) Premises

To minimize the impact on the property's current use as well as the visual impact on surrounding properties, the physical ground premises area will be located at SW 10-32-06 W5M.

The Proposed Installation will occupy a ground premises area of 200m x 200m and will include an alarmed and electronically monitored walk-in equipment cabinet surrounded by a 1.8 m high chain link security fence with a locked gate access point. The compound will also contain backup battery power, maintenance tools, manuals and first aid supplies.

No tree removal will be required for the construction of the Proposed Installation. Shown on the above aerial view is the approximate location of the compound. Additional landscaping will be provided as in accordance with the direction of the Mountain View County, if required.



(d) Areas accessible to the public and measures to control public access.

The site will be surrounded by a 1.8 m high chain link security fence and a locked gate at the access point.

4. Innovation, Science and Economic Development Canada (ISED) Authority and Requirements

(a) Rogers is regulated by Innovation, Science and Economic Development Canada (ISED)

As a federal undertaking, Rogers is regulated by Innovation, Science and Economic Development Canada (ISED) under the *Radiocommunication Act*. While Mountain View County has a significant role to play in the approval of a tower or antenna installation, the ultimate decision to approve a tower or antenna systems lies with Innovation, Science and Economic Development Canada (ISED).

Because wireless services are federally regulated, the Municipal Government Act, and municipal by-laws and regulations that purport to govern the location and operation of cell towers and antenna systems do not apply. However, Innovation, Science and Economic Development Canada (ISED) has established a clear set of rules which wireless carriers must follow when seeking to install or modify a tower or antenna system (the “Innovation, Science and Economic Development Canada (ISED) Rules”).¹

(b) Consider Sharing Existing Structures

Under the Innovation, Science and Economic Development Canada (ISED) Rules, before proposing a new tower or antenna installation, a wireless carrier must first look at locating its antennas on existing towers or other structures that are located within the specific geographical area and have sufficient height and structural integrity to allow the additional equipment.

While there are several telecommunications facilities within the 17km radius, it was determined that there were no nearby towers or structures that are suitable to deliver the required service, as the nearest telecommunications facility is located approximately 3.5km west, across the Red Deer River. It has been conclusively determined that there is a significant importance to pursue the Proposed Installation at this location.

Furthermore, Rogers accepts to receive any colocation and tower sharing requests made by other licensed carriers. Rogers could, to the extent where the equipment installed by any third-party carrier does not create any interference or technical constraint with its equipment, agree to share the proposed site.

(c) Consult with the Municipality

The Innovation, Science and Economic Development Canada (ISED) Rules also require us to contact the applicable municipality to understand its local consultation requirements and any preferences it may have for tower-siting and/or design. Mountain View County's concerns, preferences and suggestions are important elements to be considered when

¹ CPC-2-0-03 - *Radiocommunication and Broadcasting Antenna Systems*.

planning a new tower or antenna system.

On June 14, 2023, Rogers corresponded with Mountain View County to discuss the location of the Proposed Installation and to understand Mountain View County's preliminary concerns prior to submitting our formal application for approval.

5. Public Consultation

Mountain View County has a tower-siting policy within Land Use Bylaw No. 16/18 Schedule A - 10.8 Communication Tower (the "**Protocol**") which sets out, among other things, the requirements for Rogers to engage and consult with public about the Proposed Installation.

In accordance with the Protocol, we are providing this information package and invitation to all property owners located within a radius of 1.6km (1 mile) from the base of the Proposed Installation.

Copies of this Notification Package, as well as any correspondence between Rogers and the public, will be provided to Mountain View County and ISED.

We will acknowledge receipt of any communications we receive from a member of the public within 14 days, and then provide a formal response within 60 days. After that, the public commentor will have a further 21 days to provide a reply.

After the public consultation process has been completed and we have addressed and resolved all reasonable and relevant concerns (and the public has not provided further comment within the 21 days), we will forward a final report setting out the details of the public consultation to Mountain View County and Innovation, Science and Economic Development Canada (ISED). It is at this point that we will request that Mountain View County provide its concurrence to allow the Proposed Installation to proceed.

6. Other Regulatory Requirements

(a) Safety Code 6

Rogers attests that the radio antenna system for the Proposed Installation will be installed and operated on an ongoing basis to comply with Health Canada's *Safety Code 6* limits as it may be amended from time to time, for the protection of the general public, including any combined effects of additional carrier co-locations and nearby installations within the local radio environment.²

² Additional information is available at the following Government of Canada's websites:
<http://www.ic.gc.ca/eic/site/smt-gst.nsf/eng/sf11467.html>
http://www.hc-sc.gc.ca/ewh-semt/pubs/radiation/radio_guide-lignes_direct-eng.php
<http://www.ic.gc.ca/towers>

(b) Environmental Assessment

Rogers attests that the Proposed Installation is not located within federal lands nor is it incidental to, or form part of, projects that are designated under the *Regulations Designating Physical Activities* or by the Minister of the Environment as requiring an environmental assessment. Therefore, in accordance with the Impact Assessment Act (S.C. 2019, c. 28, s. 1), Rogers confirms that the Proposed Installation is excluded from environmental assessment.

Detailed information on the Impact Assessment Act (S.C. 2019, c. 28, s. 1) can be found at: <https://laws-lois.justice.gc.ca/eng/acts/l-2.75/page-1.html>

(c) Aeronautical Obstruction Marking Requirements

Rogers attests that the Proposed Installation will be installed and operated on an ongoing basis in compliance with Transport Canada and NAV Canada aeronautical safety requirements. Pending Transport Canada's approval, Rogers anticipates that the Proposed Installation will require lighting or markings pursuant to the *Canadian Aviation Regulations Standard 621 - Obstruction Markings and Lighting*.

Rogers will submit the necessary applications to the appropriate parties to obtain required approvals.³

(d) Engineering Practices

Rogers attests that the radio antenna system for the Proposed Installation will be constructed in compliance with the *National Building Code* and the Canadian Standard Association, and will respect good engineering practices, including structural adequacy.

7. Innovation, Science and Economic Development Canada (ISED)'s Spectrum Management

For information on the Innovation, Science and Economic Development Canada (ISED) Rules, please consult Innovation, Science and Economic Development Canada (ISED) at: www.ic.gc.ca/epic/site/smt-gst.nsf/en/sf08777e.html or contact the applicable local office of Innovation, Science and Economic Development Canada (ISED):

³ For additional detailed information, please consult Transport Canada at: <https://tc.canada.ca/en/corporate-services/acts-regulations/list-regulations/canadian-aviation-regulations-sor-96-433>

ISED - Southern Alberta District Office
Harry Hays Building
220 - 4th Avenue SE, Suite 478
Calgary AB T2G 4X3
p. 1-800-267-9401
e. ic.spectrumcalgary-calgaryspectre.ic@canada.ca

General information relating to antenna systems is available on Innovation, Science and Economic Development Canada (ISED)'s Spectrum Management and Telecommunications website:

www.ic.gc.ca/epic/site/smt-gst.nsf/en/home

8. Invitation for Public Comment

Members of the public are invited to provide their comments to LandSolutions Inc. on behalf of Rogers about the Proposed Installation by mail, email, phone or fax.

To be considered part of this consultation, members of the public are invited to provide their comments by email or mail to LandSolutions Inc. on behalf of Rogers by close of business day on August 18, 2023.

LandSolutions Inc. Attn: Kristina Schmidt, MCIP Municipal Affairs Specialist 1420, 333 11 Avenue SW Calgary, AB T2R 1L9 p. (403) 290-0008 e. comments@landsolutions.ca	Mountain View County Attn: Jaydan Reimer Development Officer 1408 Twp Rd. 320 Didsbury, AB T0M 0W0 p. (403) 335-3311 ext. 171 e. jreimer@mvcounty.com
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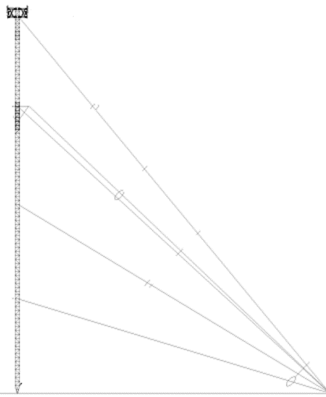
All comments and questions received will form part of a report of consultation provided to Mountain View County in accordance with the Protocol and the Innovation, Science and Economic Development Canada (ISED) Rules.

PUBLIC NOTICE

PROPOSED ROGERS 90m WIRELESS TELECOMMUNICATIONS FACILITY

SUBJECT: W6315

TOWER PROFILE



- Proposal: 90m Guyed Tower
- Legal Description: SW 10-32-06 W5M
- Geographic Coordinates: 51.724403°, -114.772503°

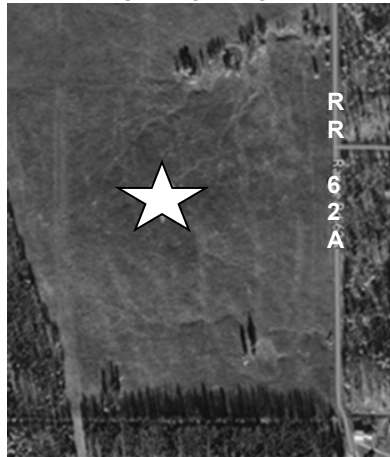
With respect to this matter, the public is invited to provide written comments until **August 18, 2023** to the contact information shown below. Please reference file W6315 and include a return address.

Further information may also be obtained through the following contacts:

LandSolutions Inc.
1420, 333 11 Avenue SW
Calgary, AB. T2R 1Y5
p: (403) 290-0008
e: comments@landsolutions.ca

Mountain View County
Planning & Development
1408 Twp Rd. 320
Didsbury, AB T0M 0W0
p. (403) 335-3311 ext. 171
e: jreimer@mvcountry.com

SITE LOCATION MAP



DRAWINGS PRODUCED BY:



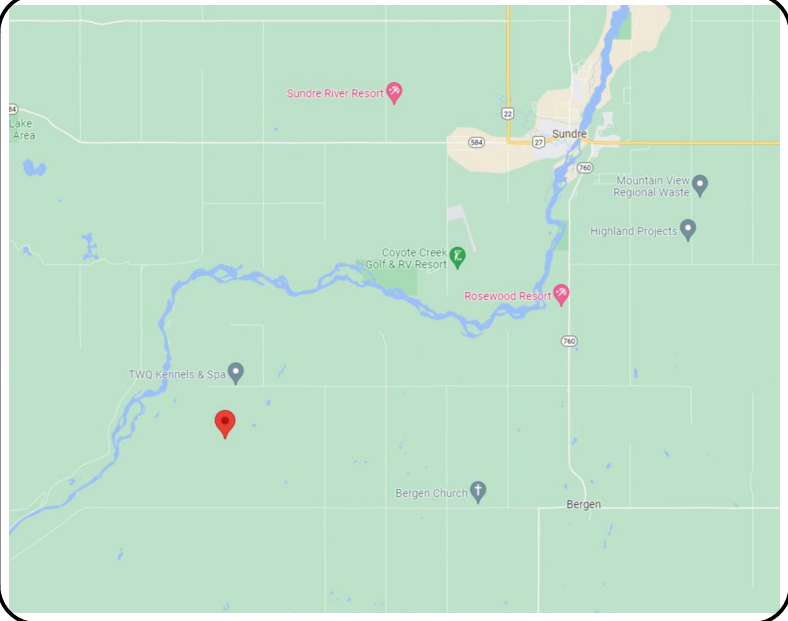
ELECTRICAL | STRUCTURAL | MECHANICAL | TELECOMMUNICATION
ENGINEERING & CONSTRUCTION MANAGEMENT | SALES & PROCUREMENT

#201 - 2951 ELLWOOD DRIVE SW
EDMONTON, ALBERTA, T6X 0B1
TEL: (780) 421-8306 FAX: (780) 702-0612
WWW.FCTELEC.COM

FC TELECOM PROJECT NUMBER:

21241

MAP:



SATELLITE IMAGE:



CLIENT:



PROJECT INFORMATION:

SITE ID: W6315
SITE NAME: PIONEER CAMP LODGE

ADDRESS:
MUNICIPALITY: MOUNTAIN VIEW COUNTY, ALBERTA
LEGAL DESCRIPTION: S.W. 1/4 SEC. 10 - TWP. 32 - RGE 6 - W. 5M
SITE COORDINATES: LATITUDE 51.724403° N
LONGITUDE 114.772503° W
INSTALLATION: 90.0m GUYED TOWER
CONFIGURATION: WALK-IN CABINET
ISSUED FOR: PRELIMINARY REVIEW
DATE: JUNE 30 2023

PROJECT CONTACTS:

LAND SOLUTIONS PROJECT MANAGER:
JEFF ZANINI
(403) 290-8884

DESIGN ENGINEERS:
FC TELECOM CONSULTANTS LTD.
(780) 421-8306

ALBERTA KEY MAP:



APPROVALS:

DRAWING LIST:

DRAWING NUMBER → G01 A COVER PAGE ← DRAWING TITLE
← DRAWING REVISION

GENERAL DRAWINGS

G01 A COVER PAGE
C01 A ANTENNA CHART

ARCHITECTURAL DRAWINGS

A01 A SITE PLAN
A02 A COMPOUND PLAN
A03 A SOUTH COMPOUND / TOWER ELEVATION
A04 A COMPOUND ISOMETRIC

ELECTRICAL DRAWINGS

E01 A ELECTRICAL NOTES
E02 A SINGLE LINE DIAGRAM & ELECTRICAL DETAILS

SURVEY (BY PRECISION GEOMATICS INC.) - 5 PAGES

A	ISSUED FOR PRELIMINARY REVIEW	30 JUN 23	S.A.
REV.	DESCRIPTION	DD MMM YY	BY

DRAWING NUMBER:

G01

RADIO ANTENNA LIST																	
ANT. POS. NO.	CARRIER	ANTENNA ID	STATUS	ANTENNA HEIGHT (CENTER OF ANTENNA)	ANTENNA MOUNT	ANTENNA TYPE ⁽¹⁾	# RRUs ⁽⁵⁾			MDT (°)	MAIN LEAD TYPE ⁽²⁾ ⁽⁴⁾ (m)	JUMPER TYPE ⁽³⁾ (m)		ANT. AZ. (°)	SECTOR NO.	NOTES	
							(E)	(N)	(R)								
1	ROGERS	LTE	NEW	89.0m A.G.L.	NEW	ADW_FFV4S4-65C-R7	-	3	-	0	POWER + FIBER	99	-	3	30°	1	
2	ROGERS	5G	FUTURE	86.0m A.G.L.	FUTURE	AIR 3258	-	-	-	0	POWER + FIBER	96	-	3	30°	1	
3	ROGERS	LTE OFFSET	NEW	89.0m A.G.L.	NEW	ADW_FFV4S4-65C-R7	-	2	-	0	POWER + FIBER	99	-	3	90°	D	
4	ROGERS	5G	FUTURE	86.0m A.G.L.	FUTURE	AIR 3258	-	-	-	0	POWER + FIBER	96	-	3	90°	D	
5	ROGERS	LTE	NEW	89.0m A.G.L.	NEW	ADW_FFV4S4-65C-R7	-	3	-	0	POWER + FIBER	99	-	3	150°	2	
6	ROGERS	5G	FUTURE	86.0m A.G.L.	FUTURE	AIR 3258	-	-	-	0	POWER + FIBER	96	-	3	150°	2	
7	ROGERS	LTE-OFFSET	NEW	89.0m A.G.L.	NEW	ADW_FFV4S4-65C-R7	-	2	-	0	POWER + FIBER	99	-	3	210°	E	
8	ROGERS	5G	FUTURE	86.0m A.G.L.	FUTURE	AIR 3258	-	-	-	0	POWER + FIBER	96	-	3	210°	E	
9	ROGERS	LTE	NEW	89.0m A.G.L.	NEW	ADW_FFV4S4-65C-R7	-	3	-	0	POWER + FIBER	99	-	3	270°	3	
10	ROGERS	5G	FUTURE	86.0m A.G.L.	FUTURE	AIR 3258	-	-	-	0	POWER + FIBER	96	-	3	270°	3	
11	ROGERS	LTE-OFFSET	NEW	89.0m A.G.L.	NEW	ADW_FFV4S4-65C-R7	-	2	-	0	POWER + FIBER	99	-	3	330°	F	
12	ROGERS	5G	FUTURE	86.0m A.G.L.	FUTURE	AIR 3258	-	-	-	0	POWER + FIBER	96	-	3	330°	F	
13	ROGERS	GPS	NEW	TBD	NEW	KRE 101 2395/2	-	-	-	-	POWER + FIBER	-	-	-	N/A	N/A	
14-16	ROGERS	2.5MHz	FUTURE	TBD	FUTURE	TBD	TBD	TBD	TBD	TBD	POWER + FIBER	TBD	TBD	TBD	TBD	TBD	
17-19	ROGERS	3.7MHz	FUTURE	TBD	FUTURE	TBD	TBD	TBD	TBD	TBD	POWER + FIBER	TBD	TBD	TBD	TBD	TBD	
20-22	ROGERS	AWS	FUTURE	TBD	FUTURE	TBD	TBD	TBD	TBD	TBD	POWER + FIBER	TBD	TBD	TBD	TBD	TBD	

NOTES:

1. ALL ANTENNA SPECIFICATIONS TO BE CONFIRMED IN RADIO SITE QUALIFICATION AS PRODUCED BY ROGERS.
2. ANTENNA CABLES AS SPECIFIED BY ROGERS CIVIL SUBMISSION.
3. ALL ANTENNA AZIMUTHS ARE DETERMINED FROM TRUE NORTH.
4. ANTENNA CABLE LENGTHS HAVE BEEN MEASURED FROM Tx PORT TO EACH ANTENNA.
5. ALL RRUs TO BE MOUNTED WITHIN 3.0m OF ANTENNA EITHER BEHIND OR BELOW ON THE SAME MOUNT IF POSSIBLE UNLESS OTHERWISE NOTED. (E)=EXISTING, (N)=NEW, (R)=REMOVE.
6. ALL CABLES SHALL BE RATED FT6.

MICROWAVE TRANSMISSION LIST										
ANT. POS. NO.	CARRIER	ANTENNA ID	STATUS	ANTENNA HEIGHT (CENTER OF ANTENNA)	ANTENNA MOUNT	ANTENNA TYPE ⁽¹⁾	MAIN LEAD TYPE ⁽²⁾ ⁽⁴⁾ (m)		ANT. AZ. ⁽³⁾ (°)	NOTES
23	ROGERS	M/W	NEW	40.0m	NEW	USX6-11W	2xLDF4-50	50	65.79°	POINTING TO W0582 (SUNDRE)

REVISION / ISSUE HISTORY:

A	ISSUED FOR PRELIMINARY REVIEW	30 JUN 23	S.A.
REV.	DESCRIPTION	DATE	BY

SEAL:

PERMIT:

PRODUCED BY:



This design is the exclusive property of FC Telec Consultants Ltd. and cannot be used or reproduced without written consent. If there are any discrepancies between what is depicted on this drawing and actual site conditions, the design engineer should be contacted immediately. Written dimensions have precedence over scaled dimensions.

ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE

CLIENTS:



SITE NAME: PIONEER CAMP LODGE
SITE LOCATION: MOUNTAIN VIEW COUNTY ALBERTA
SITE NUMBER: W6315

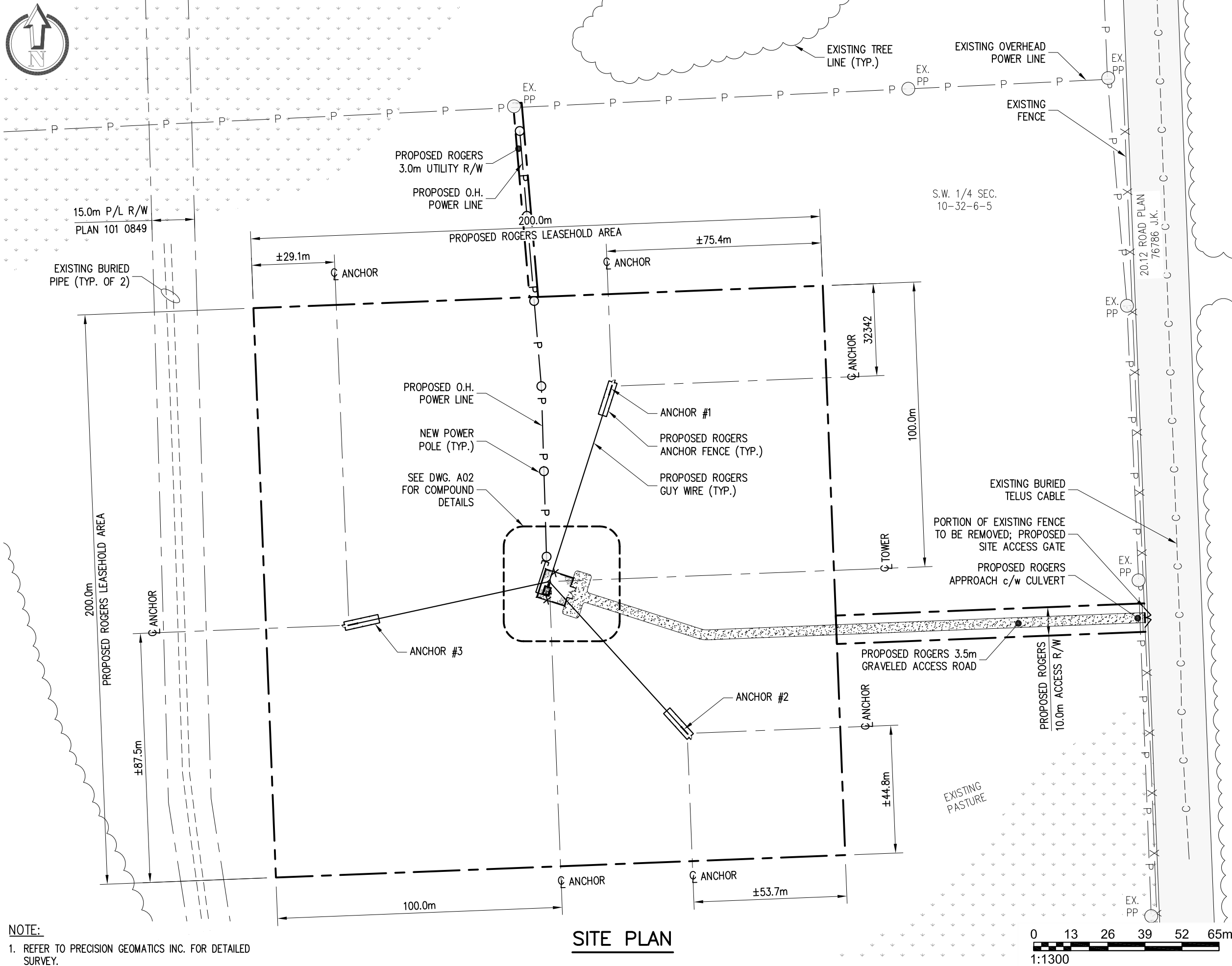
DRAWING TITLE:

ANTENNA CHART

DWG. SCALE:	NO SCALE	DRAWN BY:	S. ANSALDO
DATE:	JUNE 28 2023	CHECKED BY:	F. CHUNARA
FC TELEC PROJECT NUMBER:	23062	APPROVED BY:	F. CHUNARA

DRAWING NUMBER:

COI



NOTE:
1. REFER TO PRECISION GEOMATICS INC. FOR DETAILED SURVEY.

SITE PLAN

REVISION / ISSUE HISTORY:

REV.	DESCRIPTION	DATE	BY
A	ISSUED FOR PRELIMINARY REVIEW	30 JUN 23	S.A.

SEAL:

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CLIENTS:

**LAND SOLUTIONS**
by the experts

**ROGERS**

SITE NAME:

PIONEER CAMP LODGE

SITE LOCATION:

MOUNTAIN VIEW COUNTY
ALBERTA

SITE NUMBER:

W6315

DRAWING TITLE:

SITE PLAN

DWG. SCALE:

1:1300

DRAWN BY:

S. ANSALDO

DATE:

JUNE 28 2023

CHECKED BY:

F. CHUNARA

FC TELEC PROJECT NUMBER:

23062

APPROVED BY:

F. CHUNARA

DRAWING NUMBER:

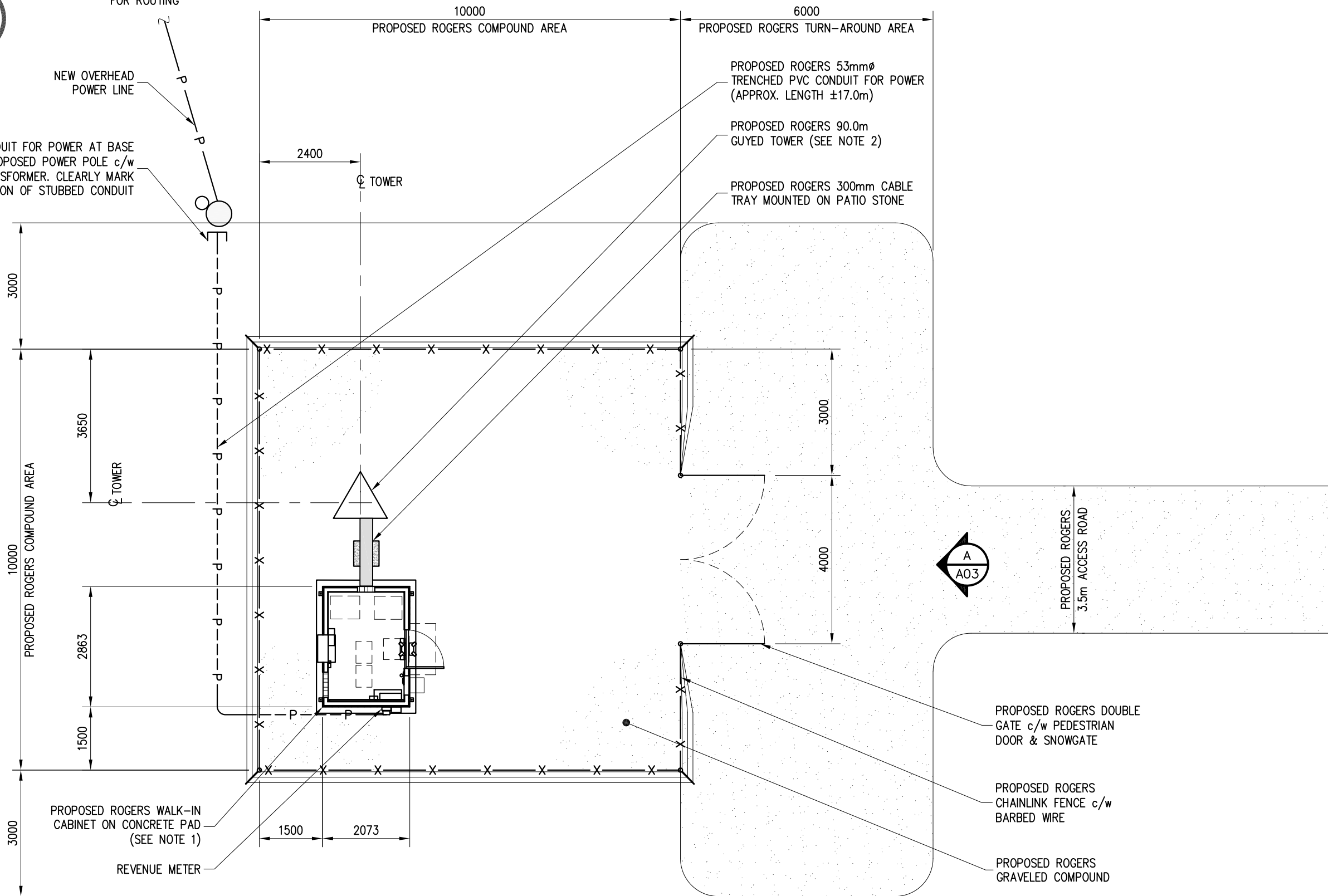
A01



SEE SITE PLAN
FOR ROUTING

NEW OVERHEAD
POWER LINE

STUB CONDUIT FOR POWER AT BASE
OF PROPOSED POWER POLE c/w
TRANSFORMER. CLEARLY MARK
LOCATION OF STUBBED CONDUIT



COMPOUND PLAN

NOTES:

1. PREFABRICATED ROGERS WALK-IN CABINET SUPPLIED BY ROGERS, INSTALLED BY CONTRACTOR.
2. TOWER SUPPLIED BY ROGERS AND INSTALLED BY CONTRACTOR.

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CLIENTS:

LAND
SOLUTIONS
by the experts

ROGERS

SITE NAME: PIONEER CAMP LODGE

SITE LOCATION: MOUNTAIN VIEW COUNTY
ALBERTA

SITE NUMBER: W6315

DRAWING TITLE:

COMPOUND PLAN

DWG. SCALE:

1:100

DRAWN BY:

S. ANSALDO

DATE:

JUNE 28 2023

CHECKED BY:

F. CHUNARA

FC TELEC PROJECT NUMBER:
23062

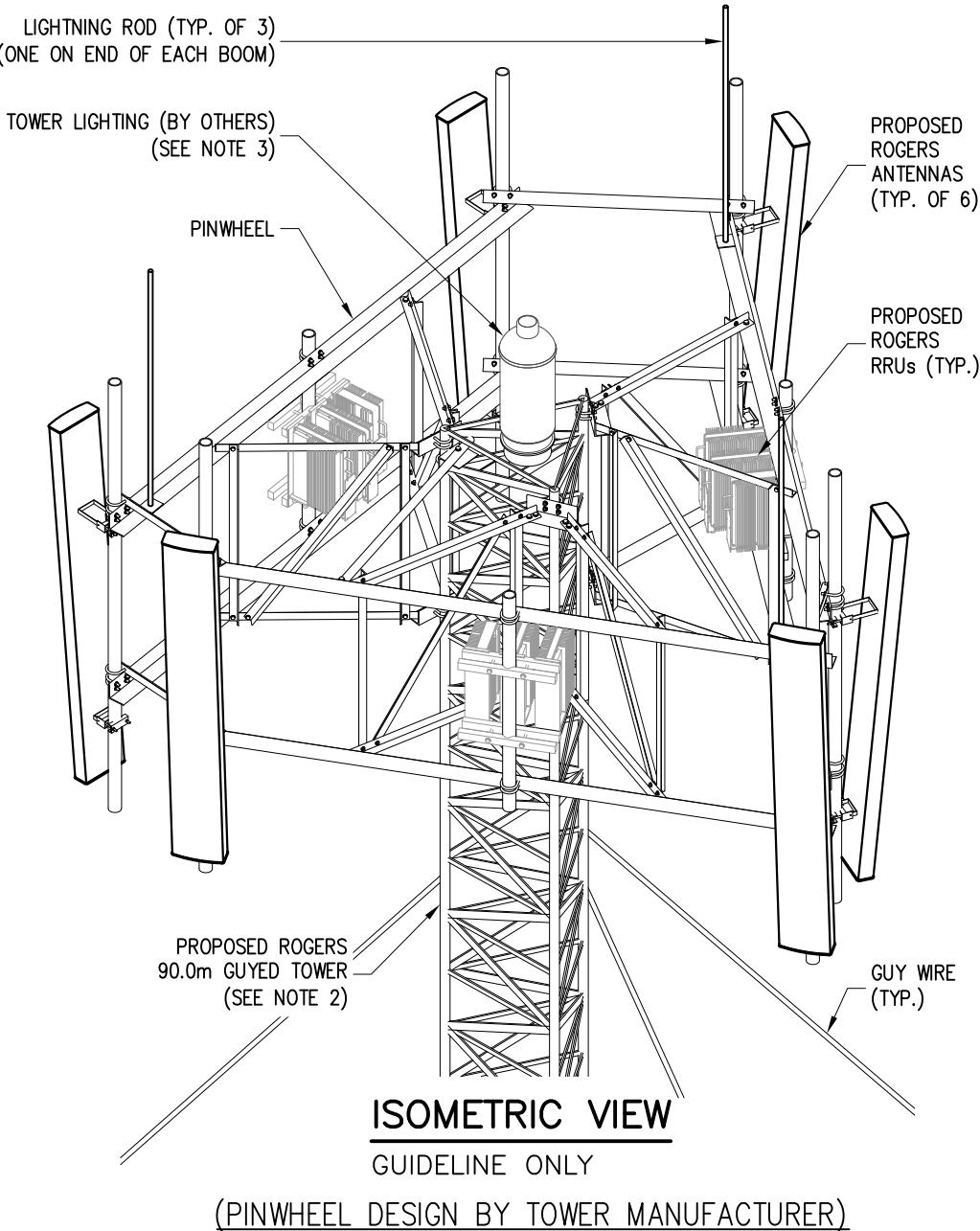
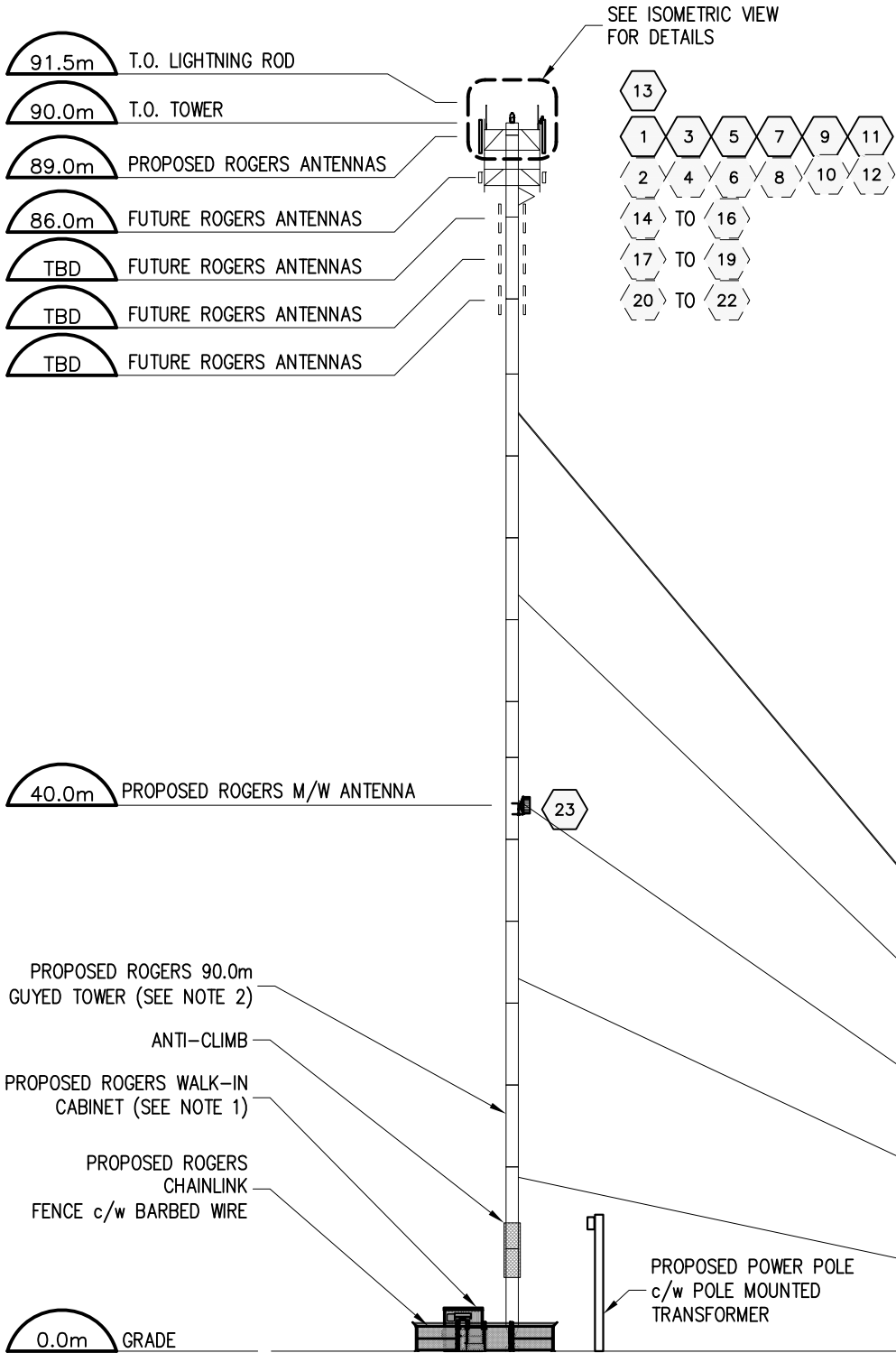
APPROVED BY:

F. CHUNARA

DRAWING NUMBER:

A02

- NOTES:
- 1. PREFABRICATED ROGERS WALK-IN CABINET SUPPLIED BY ROGERS, INSTALLED BY CONTRACTOR.
 - 2. TOWER SUPPLIED BY ROGERS AND INSTALLED BY CONTRACTOR.
 - 3. ROGERS TO CONFIRM LIGHTING REQUIREMENTS.



REVISION / ISSUE HISTORY:

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CLIENTS:



SITE NAME: PIONEER CAMP LODGE
SITE LOCATION: MOUNTAIN VIEW COUNTY ALBERTA
SITE NUMBER: W6315

DRAWING TITLE:
SOUTHEAST COMPOUND/ TOWER ELEVATION AND ISOMETRIC VIEW

DWG. SCALE:	NO SCALE	DRAWN BY:	S. ANSALDO
DATE:	JUNE 28 2023	CHECKED BY:	F. CHUNARA
FC TELECOM PROJECT NUMBER:	23062	APPROVED BY:	F. CHUNARA

DRAWING NUMBER:

A03

SOUTHEAST COMPOUND / TOWER ELEVATION

1:500

A

A02



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UNLESS NOTED OTHERWISE

CLIENTS:



LAND SOLUTIONS
by the experts



SITE NAME:

PIONEER CAMP LODGE

SITE LOCATION:

MOUNTAIN VIEW COUNTY
ALBERTA

SITE NUMBER:

W6315

DRAWING TITLE:

COMPOUND ISOMETRIC

DWG. SCALE:	N.T.S.	DRAWN BY:	S. ANSALDO
DATE:	JUNE 28 2023	CHECKED BY:	F. CHUNARA
FC TELEC PROJECT NUMBER:	23062	APPROVED BY:	F. CHUNARA

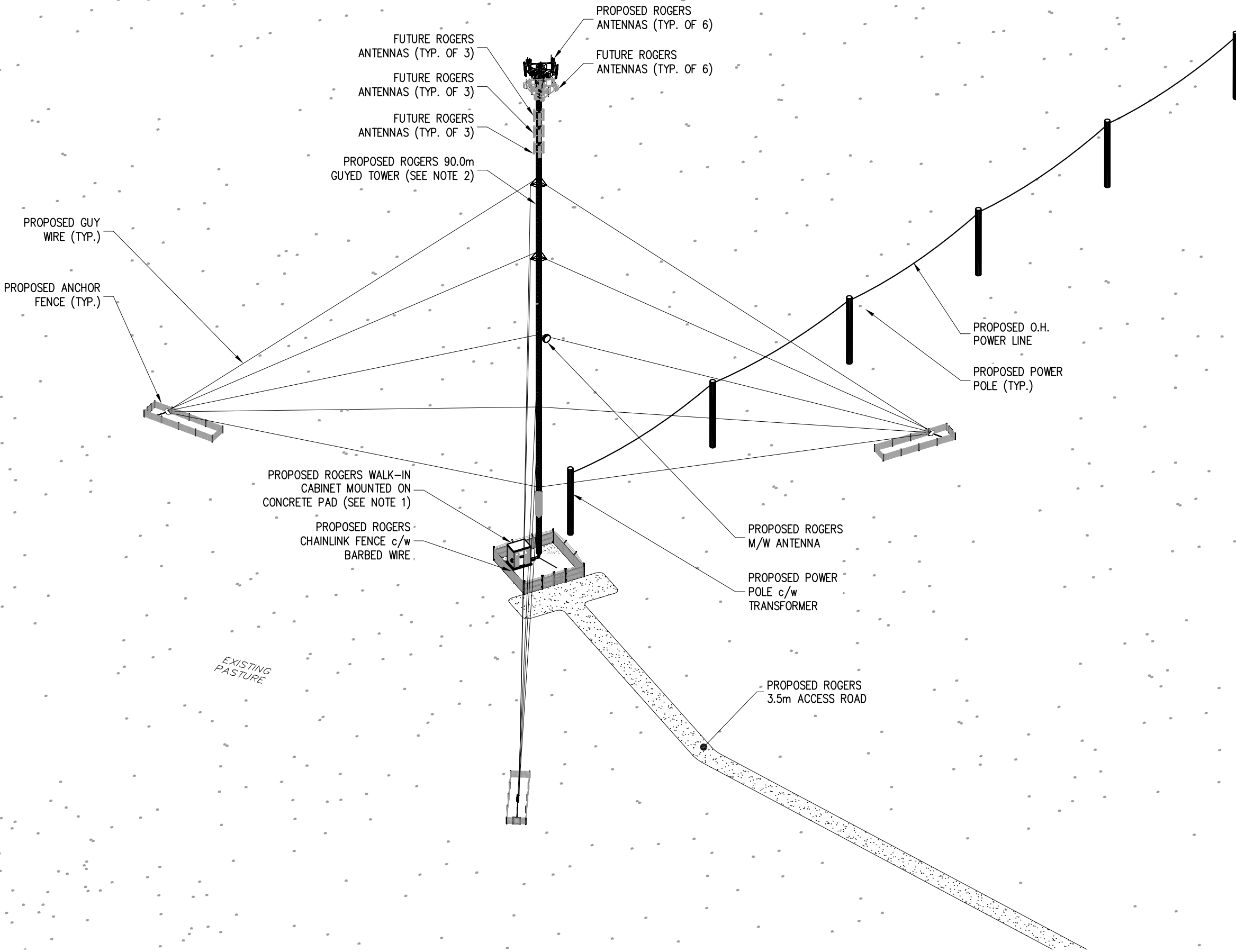
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




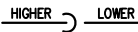
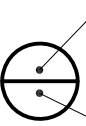





















A04

NOTES:

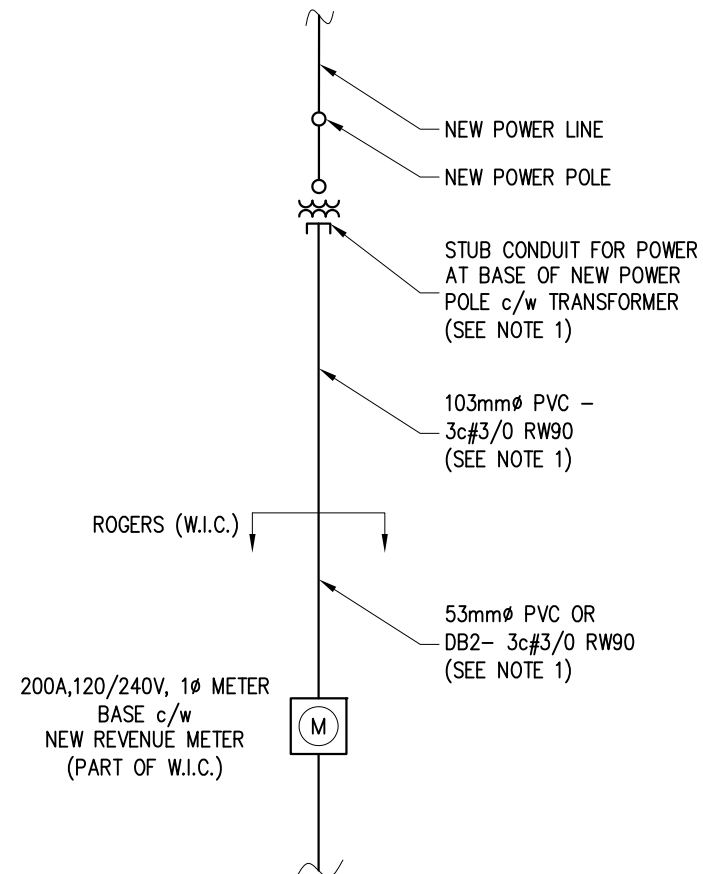
- PREFABRICATED WALK-IN CABINET SUPPLIED BY ROGERS AND INSTALLED BY CONTRACTOR.
- TOWER SUPPLIED BY ROGERS AND INSTALLED BY CONTRACTOR.

COMPOUND ISOMETRIC
GUIDELINE ONLY

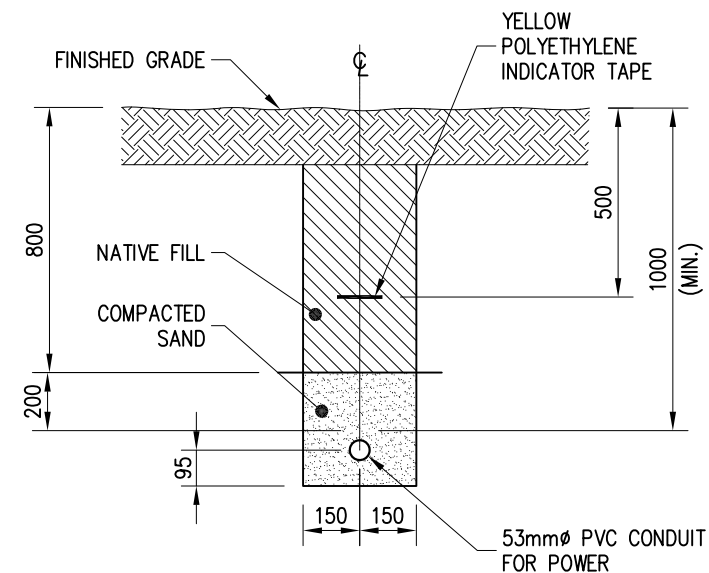
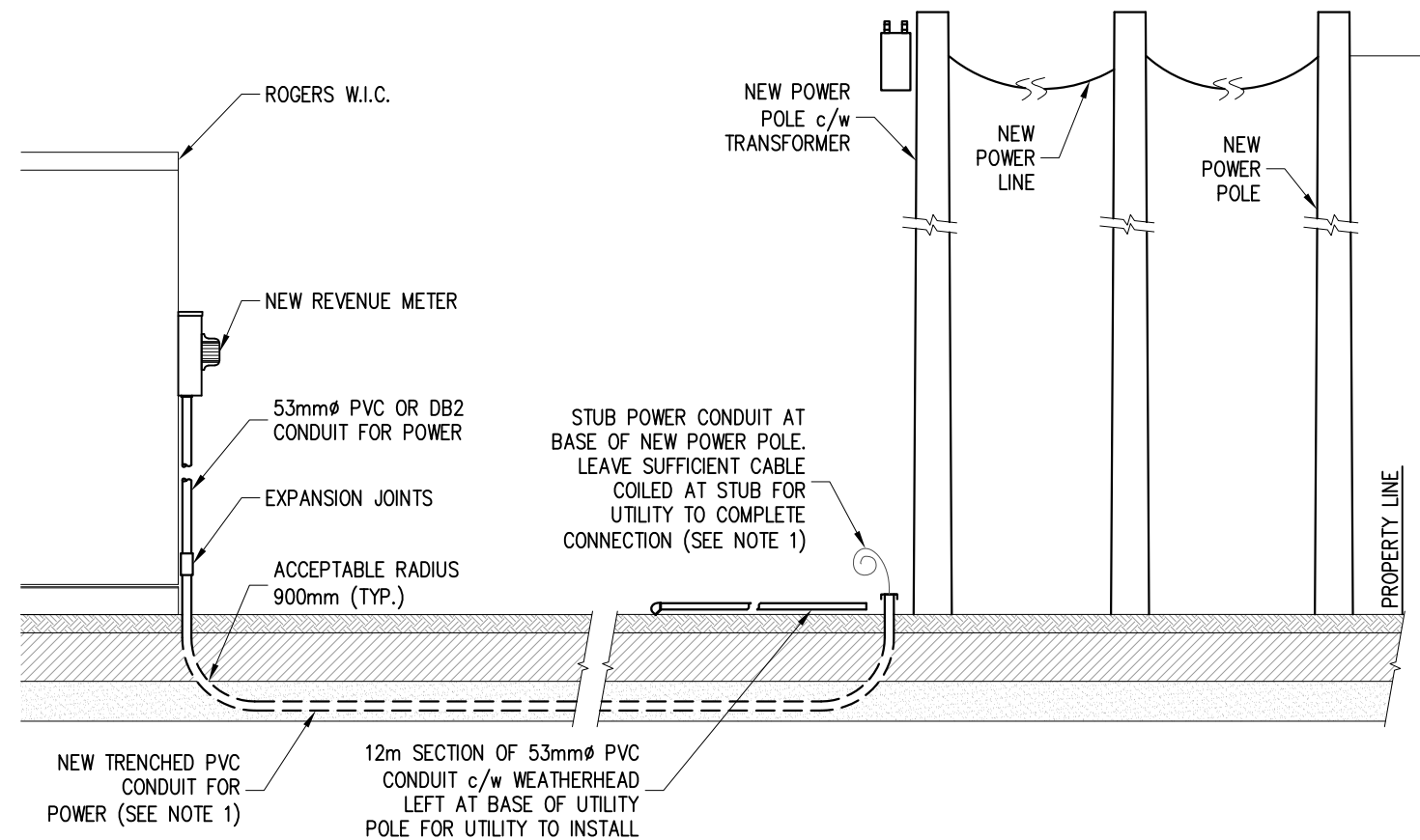


POWER		GROUNDING		DRAWING LEGEND		REVISION / ISSUE HISTORY:																																									
<div><div>1.</div><div>ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN ELECTRICAL CODE AND COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE MUNICIPAL AND PROVINCIAL CODES AND REGULATIONS, AND UTILITY GUIDELINES.</div></div> <div><div>2.</div><div>CONTRACTOR TO OBTAIN ALL NECESSARY ELECTRICAL PERMITS AND PAY ALL FEES AS REQUIRED TO COMPLETE THE ELECTRICAL WORK. UPON PROJECT COMPLETION AND PRIOR TO REQUESTING FINAL INSPECTION, DELIVER A COPY OF THE FINAL ELECTRICAL INSPECTION CERTIFICATE TO THE ENGINEER.</div></div> <div><div>3.</div><div>PRIOR TO CONSTRUCTION, PERFORM ON-SITE VERIFICATION OF THE EXISTING SITE AND ELECTRICAL SYSTEM AND REPORT ANY DISCREPANCIES TO THE ENGINEER. FIELD MEASUREMENTS AND EXACT RACEWAY ROUTING ARE THE RESPONSIBILITY OF THE CONTRACTOR (AND MUST BE CONSIDERED PRIOR TO SUBMITTING BID).</div></div> <div><div>3.5</div><div>OBTAIN LOCATES PRIOR TO ANY EXCAVATION AND PROTECT ALL BURIED UTILITIES. REINSTATE ALL DISTURBED SURFACES TO PRE-CONSTRUCTION CONDITIONS.</div></div> <div><div>4.</div><div>REVIEW THE ELECTRICAL DRAWINGS IN CONJUNCTION WITH THE DRAWINGS AND SPECIFICATIONS OF ALL OTHER DISCIPLINES, INCLUDING THE CARRIER TECHNICAL SPECIFICATION PROVIDED BY CARRIER. REPORT ANY DISCREPANCIES TO CARRIER AND CONSULTANT.</div></div> <div><div>5.</div><div>PROVIDE TEMPORARY POWER TO ALL TRADES DURING CONSTRUCTION AS REQUIRED.</div></div> <div><div>6.</div><div>ALL WRING, DEVICES AND EQUIPMENT SHALL BE NEW AND CSA APPROVED. EQUIPMENT OF SAME TYPE SHALL BE OF THE SAME MANUFACTURER.</div></div> <div><div>7.</div><div>INSTALL A 3mm NYLON PULL CORD IN ALL CONDUITS.</div></div> <div><div>8.</div><div>PROVIDE LAMICOID ON ALL INSTALLED ELECTRICAL EQUIPMENT.</div></div> <div><div>9.</div><div>THE CONTRACTOR SHALL ALIGN EXPOSED CONDUIT RUNS PARALLEL TO AND AT RIGHT ANGLE WITH THE BUILDING WALLS. PRECISELY PLACE, LEVEL AND ADJUST TO PLUMB ALL THE CABLE TRAYS, CONDUITS AND SUSPENDING RODS. CONDUITS AND TRAY SHALL BE SOLIDLY ANCHORED IN CONFORMANCE WITH THIS DRAWING SET. IF DETAILS ARE NOT SUFFICIENT, ENGINEER TO PROVIDE ADDITIONAL DETAILS.</div></div> <div><div>10.</div><div>THE CONTRACTORS SHALL NOT RUN CONDUITS PARALLEL TO HOT WATER OR STEAM LINES. THE CONTRACTOR SHALL MAINTAIN AT LEAST 100mm SEPARATION AT CROSSEOVERS. DISSIMILAR METALS SHALL BE GALVANICALLY ISOLATED.</div></div> <div><div>11.</div><div>WHEN ONE OR MORE CONDUIT ARE RUN, THEY SHALL BE MOUNTED NEATLY ON STRUT, UNLESS SHOWN OTHERWISE.</div></div> <div><div>12.</div><div>ALL TRANSFORMERS SHALL BE 'DRY-TYPE' AIR COOLED WITH GRID ENCLOSURE AND TYPE H INSULATION. WHEN INSTALLING TRANSFORMERS, THE CONTRACTOR SHALL RESPECT ALL CLEARANCES FOR VENTILATION AND SEISMIC.</div></div> <div><div>13.</div><div>ALL PANELBOARDS SHALL BE WITH BOLT-ON BRANCH AND MAIN MOULDED CASE CIRCUIT BREAKERS UNLESS SPECIFIED OTHERWISE.</div></div> <div><div>14.</div><div>ALL FUSES TO BE BUSSMAN HRC UNLESS SPECIFIED OTHERWISE. THE CONTRACTOR SHALL RESPECT THE SYMMETRY FOR THE EXPOSED PART OF THE ELECTRICAL INSTALLATION AND SHALL REPORT ANY PROBLEMS TO THE ENGINEER.</div></div> <div><div>15.</div><div>USE ISOLATED NEUTRAL FOR METER GROUND CONNECTION WHERE METERS ARE SHOWN.</div></div> <div><div>16.</div><div>UPON COMPLETION OF THE INSTALLATION, OPERATE AND ADJUST ALL EQUIPMENT AND SYSTEMS TO MEET SPECIFIED PERFORMANCE REQUIREMENTS. ALL TESTING SHALL BE DONE BY QUALIFIED PERSONNEL.</div></div> <div><div>17.</div><div>CONTRACTOR SHALL COORDINATE ALL WORK WITH THE POWER AND TELEPHONE COMPANIES AND SHALL COMPLY WITH ALL SERVICE REQUIREMENTS FOR EACH UTILITY COMPANY.</div></div> <div><div>18.</div><div>ALL NECESSARY EXCAVATIONS AND BACKFILLING INCIDENTAL TO THE WORK UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING SHALL BE PROVIDED BY THE CONTRACTOR.</div></div> <div><div>19.</div><div>COORDINATION OF ALL SLEEVES, CHASES, ETS., WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY PORTION OF THE WORK. ALL CUTTING AND PATCHING OF WALLS, PARTITIONS, FLOORS, AND CHASES IN CONCRETE, WOOD, STEEL OR MASONRY SHALL BE DONE AS PROVIDED ON THE DRAWINGS.</div></div> <div><div>20.</div><div>SEAL ALL PENETRATION THROUGH WALL AND FLOORS WITH APPROVED GROUT AND/OR FIRESTOP.</div></div> <div><div>21.</div><div>WHERE INSTALLED ON EXTERIORS AND EXPOSED TO DAMAGE, ALL CONDUIT SHALL BE RIGID STEEL. ALUMINUM CONDUIT SHALL NOT BE ALLOWED.</div></div> <div><div>22.</div><div>NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY. CONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT, AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK.</div></div> <div><div>23.</div><div>ALL CONDUCTORS SHALL BE COPPER, THE USE OF ALUMINUM CONDUCTORS SHALL NOT BE ALLOWED.</div></div> <div><div>26.</div><div>PRIOR TO ORDERING EQUIPMENT, PROVIDE SHOP DRAWINGS (2 SETS) FOR ALL ELECTRICAL EQUIPMENT SPECIFIED FOR APPROVAL.</div></div> <div><div>27.</div><div>ALL NEW OVERCURRENT DEVICES AND ELECTRICAL EQUIPMENT TO HAVE AN A.I.C. RATING GREATER THAN THE AVAILABLE FAULT CURRENT THEY MAY BE SUBJECTED TO (10kA MIN.)</div></div> <div><div>28.</div><div>WHERE CONDUITS/DUCTS TRANSITION FROM BELOW GRADE TO VERTICAL, PROVIDE (ABOVE GRADE) EXPANSION JOINTS IN ACCORDANCE WITH CEC OR AS PER UTILITY REQUIREMENTS.</div></div> <div><div>29.</div><div>WHEN EQUIPMENT MODIFICATIONS ARE REQUIRED TO FACILITATE CONDUCTOR CONNECTIONS TO AN EXISTING SWITCHBOARD, SPLITTER, BUS DUCT ETC, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY MANUFACTURER, CSA OR THIRD PARTY APPROVALS TO THE SATISFACTION OF LOCAL ELECTRICAL INSPECTION.</div></div>		<div><div>1.</div><div>ALL INDOOR GROUND CONDUCTORS, UNLESS SPECIFIED OTHERWISE, SHALL BE 2/0 COPPER WITH GREEN INSULATED JACKET. ALL OUTDOOR GROUND CONDUCTORS, UNLESS SPECIFIED OTHERWISE, SHALL BE 2/0 TINNED COPPER WITH BLACK INSULATED JACKET.</div></div> <div><div>2.</div><div>ALL GROUND LUGS TO BE 2 (TWO) HOLE LONG BARREL COMPRESSION TYPE. FASTENERS USED TO ATTACH GROUND LUGS TO THE COPPER GROUND BUS ARE TO BE OF COPPER OR SILICON BRONZE ONLY. USE ONLY 'C' TAPS TO CONNECT EQUIPMENT AND OTHER GROUNDS TO MAIN GROUND CONDUCTOR. GROUND CONNECTIONS TO BE MADE IN THE DIRECTION OF BUILDING GROUND. LOCK WASHERS SHALL BE INSTALLED WHERE MECHANICAL CONNECTIONS ARE NECESSARY. ALL CONNECTIONS TO BE TREATED WITH A NON-OXIDANT COMPOUND PRIOR TO INSTALLATION.</div></div> <div><div>3.</div><div>AIR TERMINALS WHEN INSTALLED SHALL BE CONNECTED DIRECTLY TO THE MAIN GROUND RUN.</div></div> <div><div>4.</div><div>WHEN GROUND RODS ARE INSTALLED, THE CONTRACTOR WILL PERFORM A GROUND RESISTANCE TEST USING A METHOD ACCEPTABLE AND APPROVED BY THE ENGINEER AND SUBMIT THE RESULTS TO THE ENGINEER. IF THE GROUND RESISTANCE EXCEEDS 5 (FIVE) OHMS, ADDITIONAL GROUND RODS NEED TO BE INSTALLED.</div></div> <div><div>5.</div><div>WHEN GROUND RODS ARE INSTALLED, THEY SHALL BE 3050mm LONG x 16mm DIAMETER, COPPER PLATED STEEL AND BURIED MINIMUM 150mm BELOW GRADE AND 600mm FROM ANY FOUNDATIONS (UNLESS STATED OTHERWISE). THE CONTRACTOR SHALL VERIFY IN WRITING THAT THE GROUND IS CONTINUOUS AT ANY POINT IN THE GROUNDING SYSTEM BY USE OF GROUND CONTINUITY TESTERS.</div></div> <div><div>6.</div><div>ALL CONNECTIONS TO GROUND RODS SHALL BE EXOTHERMIC WELDS.</div></div> <div><div>7.</div><div>ALL GROUND CONNECTIONS ARE TO BE CLEAN AND FREE OF PAINT AT THEIR MATING SURFACES AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. USE "PENETROX" OR EQUIVALENT ANTIOXIDANT GREASE.</div></div> <div><div>8.</div><div>ALL HORIZONTAL LADDER TRAY AND EMT ENDS ARE TO BE BONDED TO GROUND THROUGHOUT THE INSTALLATION AS PER CODE REQUIREMENTS.</div></div> <div><div>9.</div><div>PROVIDE BUSHINGS ON ALL EMT TERMINATIONS AND BOND TERMINATIONS TO GROUND.</div></div> <div><div>10.</div><div>CONNECT CABLES TO GROUNDING BAR IN COMPLIANCE WITH PANI STANDARD: P-SURGE PRODUCER, A-SURGE ABSORBER, N-NON-ISOLATED CABLES, I-ISOLATED CABLES.</div></div> <div><div>11.</div><div>ALL ELECTRICAL NEUTRALS, RACEWAYS AND NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT AND ASSOCIATED ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH CEC. THIS SHALL INCLUDE NEUTRAL CONDUCTORS, CONDUITS, SUPPORTS, CABINETS, BOXES, GROUND BUSSES, ETC. THE NEUTRAL CONDUCTOR FOR EACH SYSTEM SHALL BE GROUNDED BY ONE POINT ONLY.</div></div>		<div><div>— · — · — · —</div><div>HELIAX CABLE</div></div> <div><div>—————</div><div>GROUNDING LINE</div></div> <div><div>— P — P —</div><div>POWER</div></div> <div><div>--- P --- P ---</div><div>TRENCHED POWER</div></div> <div><div>— F — F —</div><div>FIBER</div></div> <div><div>--- F --- F ---</div><div>TRENCHED FIBER</div></div> <div><div>— T — T —</div><div>TELEPHONE</div></div> <div><div>--- T --- T ---</div><div>TRENCHED TELEPHONE</div></div> <div><div>— C — C —</div><div>CABLE</div></div> <div><div>--- C --- C ---</div><div>TRENCHED CABLE</div></div> <div><div>— A — A —</div><div>ALARM</div></div> <div><div>--- A --- A ---</div><div>TRENCHED ALARM</div></div> <div><div>—— F/P ——</div><div>FIBER & POWER</div></div> <div><div>—— — F/P ——</div><div>TRENCHED FIBER & POWER</div></div> <div><div>—— F/T ——</div><div>FIBER & TELEPHONE</div></div> <div><div>—— — F/T ——</div><div>TRENCHED FIBER & TELEPHONE</div></div> <div><div>—— DC ——</div><div>DC CABLE</div></div> <div><div></div><div>RECEPTACLE</div></div> <div><div></div><div>GROUNDING ROD</div></div> <div><div></div><div>C-TAP CONNECTION</div></div> <div><div>DN</div><div>DOWN RUN</div></div> <div><div>UP</div><div>UP RUN</div></div> <div><div></div><div>ANTENNA</div></div> <div><div></div><div>CADWELD</div></div> <div><div></div><div>SURFACE MOUNTED PANEL BOARD</div></div> <div><div></div><div>DENOTES CABLE OR CONDUIT TURNING UP IN PLAN VIEW</div></div> <div><div></div><div>DENOTES CABLE OR CONDUIT TURNING DOWN IN PLAN VIEW</div></div> <div><div></div><div>CHANGE IN ELEVATION OF CABLE OR CONDUIT IN PLAN VIEW</div></div>		<div><div></div><div>NUMBER OR LETTER INDICATING THE SECTION, ELEVATION, DETAIL OR NOTE.</div></div> <div><div></div><div>NUMBER INDICATING REFERENCE DRAWING</div></div> <div><div></div><div>DOUBLE HEAD 8W EMERGENCY LIGHTING c/w 50W BATTERY PACK</div></div> <div><div></div><div>FIRE EXTINGUISHER</div></div> <div><div></div><div>HIGH TEMP ALARM</div></div> <div><div></div><div>LOW TEMP ALARM</div></div> <div><div></div><div>DOOR CONTACT ALARM</div></div> <div><div></div><div>4' FLUORESCENT T8 FIXTURE c/w 2x32W T8 FLUORESCENT TUBE AND REMOVABLE WIRE GUARD</div></div> <div><div></div><div>HEAT DETECTOR</div></div> <div><div></div><div>SMOKE DETECTOR</div></div> <div><div></div><div>FIRE ALARM BELL</div></div> <div><div></div><div>EXISTING MECHANICAL EQUIPMENT</div></div> <div><div></div><div>AIR TERMINAL</div></div> <div><div></div><div>120V. 1# DIRECT CONNECTION TO EQUIPMENT SUPPLIED BY OTHERS DIVISIONS</div></div> <div><div></div><div>TRANSFORMER</div></div> <div><div></div><div>REVENUE METER</div></div> <div><div></div><div>JUNCTION BOX</div></div> <div><div></div><div>TRANSFER SWITCH</div></div> <div><div></div><div>15A 120V SWITCH</div></div>		<table><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td>A</td><td>ISSUED FOR PRELIMINARY REVIEW</td><td>30 JUN 23</td><td>S.A.</td></tr><tr><td>REV.</td><td>DESCRIPTION</td><td>DATE</td><td>BY</td></tr><tr><td colspan="4"><i>SEAL:</i></td></tr><tr><td colspan="4"><i>PERMIT:</i></td></tr><tr><td colspan="4" rowspan="91"><i>PRODUCED BY:</i></td></tr></table>																				A	ISSUED FOR PRELIMINARY REVIEW	30 JUN 23	S.A.	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				<div><div><i>DRAWING TITLE:</i></div><div>ELECTRICAL NOTES</div></div>																																											
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				<div><div><i>DRAWING NUMBER:</i></div><div>E01</div></div>																																											

****PRELIMINARY ONLY****
CONTRACTOR TO CONFIRM SERVICE SIZE AND LOCATION



SINGLE LINE DIAGRAM



POWER TRENCHING DETAIL

GUIDELINE ONLY

NOTES:

1. LEAVE PULL ROPE IN ALL CONDUITS.
2. CONTRACTOR TO CONTACT ALL UTILITIES FOR LOCATION OF SERVICES. SERVICE LOCATIONS TO BE CONFIRMED PRIOR TO CONSTRUCTION.

REVISION / ISSUE HISTORY:

A	ISSUED FOR PRELIMINARY REVIEW	30 JUN 23	S.A.
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FC TELECOM
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CLIENTS:



SITE NAME: PIONEER CAMP LODGE

SITE LOCATION: MOUNTAIN VIEW COUNTY
ALBERTA

SITE NUMBER: **W6315**

DRAWING TITLE:

SINGLE LINE DIAGRAM

DWG. SCALE:

NO SCALE

DRAWN BY:

S. ANSALDO

DATE:

JUNE 28 2023

CHECKED BY:

F. CHUNARA

FC TELECOM PROJECT NUMBER:
23062

APPROVED BY:
F. CHUNARA

DRAWING NUMBER:

E02

SCHEDULE 'B'
PLAN OF SURVEY SHOWING
PREMISES INCLUDING ACCESS & UTILITY AREA
W6315_PIONEER CAMP LODGE
WITHIN
S.W. 1/4 Sec. 10 - Twp. 32 - Rge. 6 - W. 5M.
MOUNTAIN VIEW COUNTY



LICENCE INFORMATION

The Proposed Tower:	YES	NO
1. Is free of conflict with any encumbrances or interest of a surface physical nature.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Is at least 1.6km from the end of a Registered Airstrip.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Is at least 1.6km from the corporate limits of a city, town, village or hamlet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Is at least 30m from a water body.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Is outside any National/Provincial Park or other military buildings.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is outside any historical resources sensitivity zone.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Has no Primary or Secondary Highway within 0.8km of Tower Centre.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

LAND OWNER INFORMATION

C. of T. No.: 121 116 141 +1
Land Owner(s): INTER-VARSITY MINISTRIES FOUNDATION
Legal Description: S.W. 1/4 Sec. 10 - Twp. 32 - Rge. 6 - W. 5M.

I/We, the Landowner(s) and/or Occupant(s), consent to the location of the tower premises / access and utility area as shown, and have no objections to the issuing of permits as required.
Dated the ____ day of _____, ____.

LEGEND

Statutory Iron Posts found shown thus ●
Calculated Position shown thus □
Over Head Power Line shown thus — OH —
Buried Pipe shown thus — — — — —
Buried Telus shown thus — T —
Buried Gas Line shown thus — G —

Bearings are grid; Derived by GNSS observations and are referred to Central Meridian 117° West (Zone 11), UTM projection (NAD 83).
Distances shown are in metres and decimals thereof and are ground.
Combined scale factor 0.999696

Measurements are from post to post unless shown otherwise.
Vertical Datum = Geodetic Station No. 756047 (PRIDDIS)
Elevation = 1263.897m

Portions referred to shown thus
Utility Area referred to shown thus

AREAS:		
PREMISES	=	4.000 ha (9.88 ac.)
ACCESS AREA	=	0.108 ha (0.27 ac.)
UTILITY AREA	=	0.020 ha (0.05 ac.)
TOTAL	=	4.128 ha (10.20 ac.)

PROPOSED COORDINATES:

GEOGRAPHIC		
Latitude	=	51°43'27.9" } NAD 83
Longitude	=	-114°46'21.0" }
GEOGRAPHIC		
Latitude	=	51.724403 ° } NAD 83
Longitude	=	-114.772503 ° }
UTM (Zone 11)		5732734.49 N. } NAD 83
		653847.17 E. }

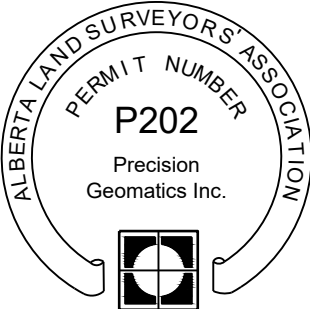
ELEVATIONS:

Ground at Tower Centre: 1268.71		
Corner Elevations:		
NW Cor. 1269.02		NE Cor. 1248.80
SW Cor. 1280.10		SE Cor. 1258.12

I, Travis Brinsky, Alberta Land Surveyor, of the City of Spruce Grove, Alberta, certify that the field survey represented by this plan is true and correct to the best of my knowledge, was carried out in accordance with the Alberta Land Surveyors' Association Manual of Standard Practice, and was performed on the 24th day of May, 2023.

Alberta Land Surveyor

Witness (Tyler Cranford)
June 12, 2023
Date Signed



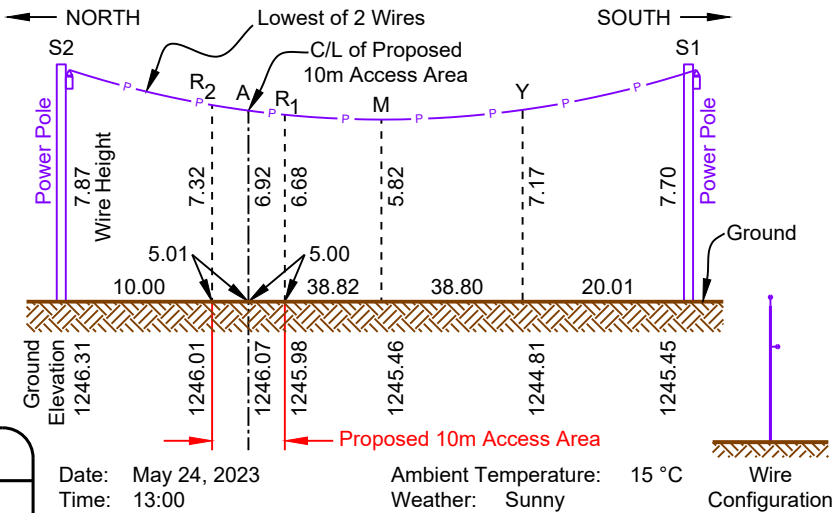
OPERATOR:



EDMONTON DRAYTON VALLEY CALGARY
Phone: 780-470-4000 Phone: 780-542-5252 Phone: 403-266-6647
Toll Free: 1-888-470-4001 www.precisiongeo.ca Toll Free: 1-877-266-6649
info@precisiongeo.ca

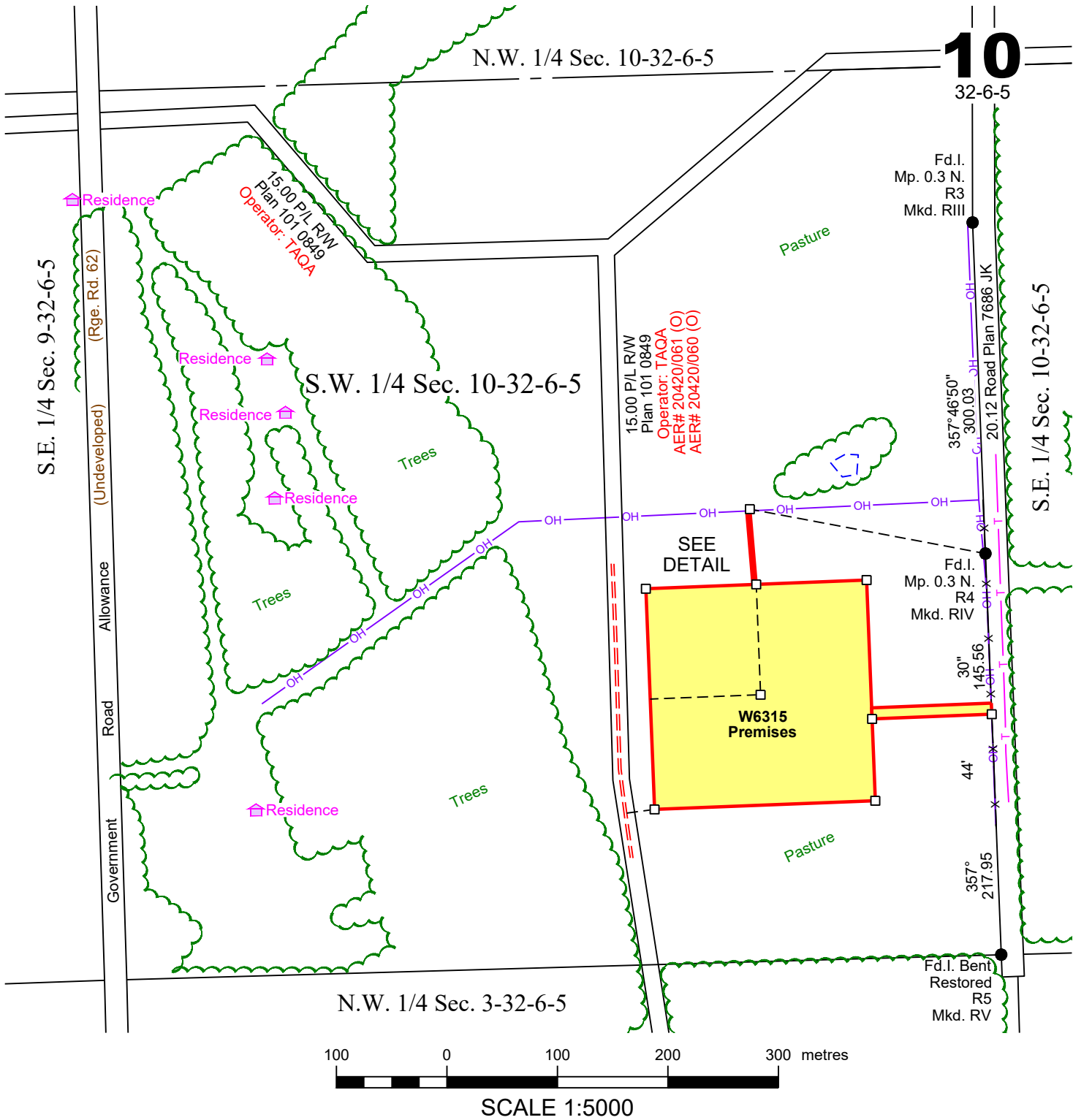
No.	Svy.	Dwn.	Ckd.	REVISIONS		Date
0	OI	TC	TB	Plan Issued		Jun. 12, 2023
DWG FILE: E23-008789 TS(0)				CLIENT FILE: W6315		PAGE 1/5
						REV. 0

SCHEDULE 'B'



W6315 PREMISES CENTRE SETBACKS		
DIRECTION	DISTANCE (m)	DESCRIPTION
NORTH	563.7m (calc.)	to E - W 1/4 Line
EAST	208.4m	to Road Plan 7686 JK
SOUTH	241.6m (calc.)	to S. Bdy. Sec. 10-32-6-5
WEST	581.4m (calc.)	to Rge. Rd. 62

POWER LINE CROSSING DETAIL
Not to Scale



PRECISION
GEOMATICS INC.
Indigenous Owned

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CLIENT FILE:				W6315	
PAGE 2/5					
					REV. 0

Site Plan Details:

- Property:** W6315 Premises (yellow shaded area).
- Boundaries:**
 - Top: 100.00' (87°), 100.00' (30").
 - Right: 125.00' (30"), 125.86' (30").
 - Bottom: 125.00' (74.14', 177°), 200.00' (267°44'30").
 - Left: 200.00' (357°44'30").
- Utility Area:** 3.00 Utility Area (top left).
- Access Area:** 10.00 Access Area (bottom right).
- Caution Zones:**
 - CAUTION: (2) Buried Pipes (left side).
 - CAUTION: EQUA REA O/H Power Cable (top right).
 - CAUTION: Buried Telus Cable (right side).
 - CAUTION: EQUA REA 2-Wire O/H Power Cable 6.92 High at Crossing (bottom right).
- Other Features:**
 - Trees (top left and bottom left).
 - Dugout (top center).
 - Pasture (top right and bottom right).
 - Approach & Culvert Required (Lat.) 51°43'27.2" NAD (Long.) -114°46'10.1" W83 (bottom right).
 - 20.12 Road Plan 7686 JK (right side).
 - Sight Lines (right side, ±250m).
- Scale:** SCALE 1:2000.
- North Arrow:** Located at the top left.
- Metadata:**
 - 15.00 P/L R/W Plan 101 0849
 - Operator: TAQA
 - AER# 20420/061 (O)
 - AER# 20420/060 (O)

NOTE: Contours shown are shown at an interval of 0.25m.
All contour elevations are shown in meters.
Contour Major shown thus
Contour Minor shown thus

Alberta One-Call : 1-800-242-3447
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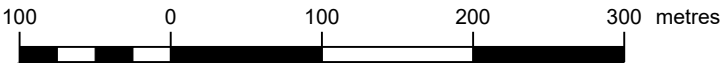
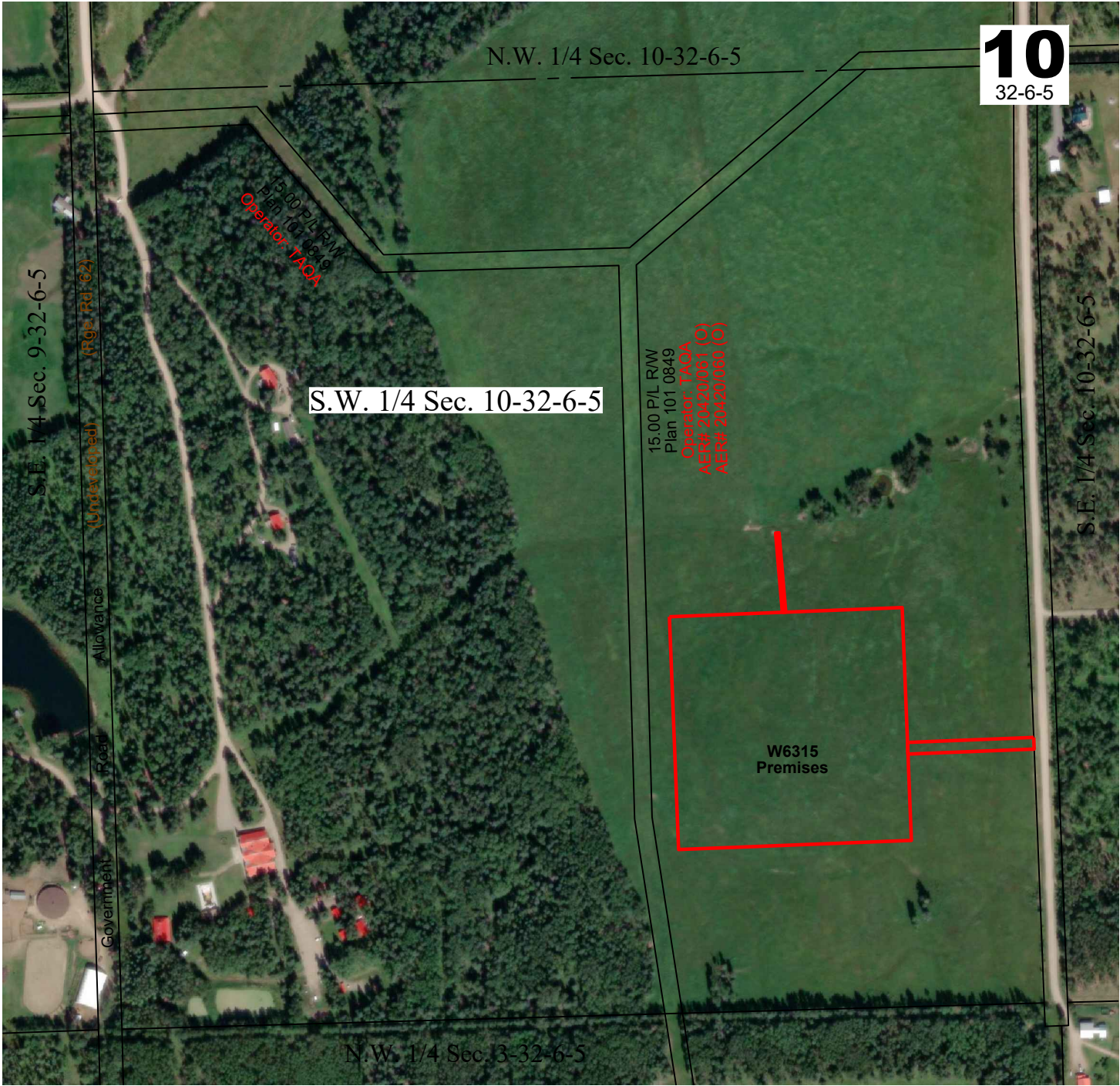
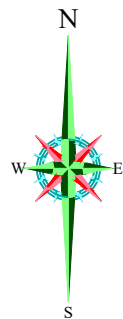


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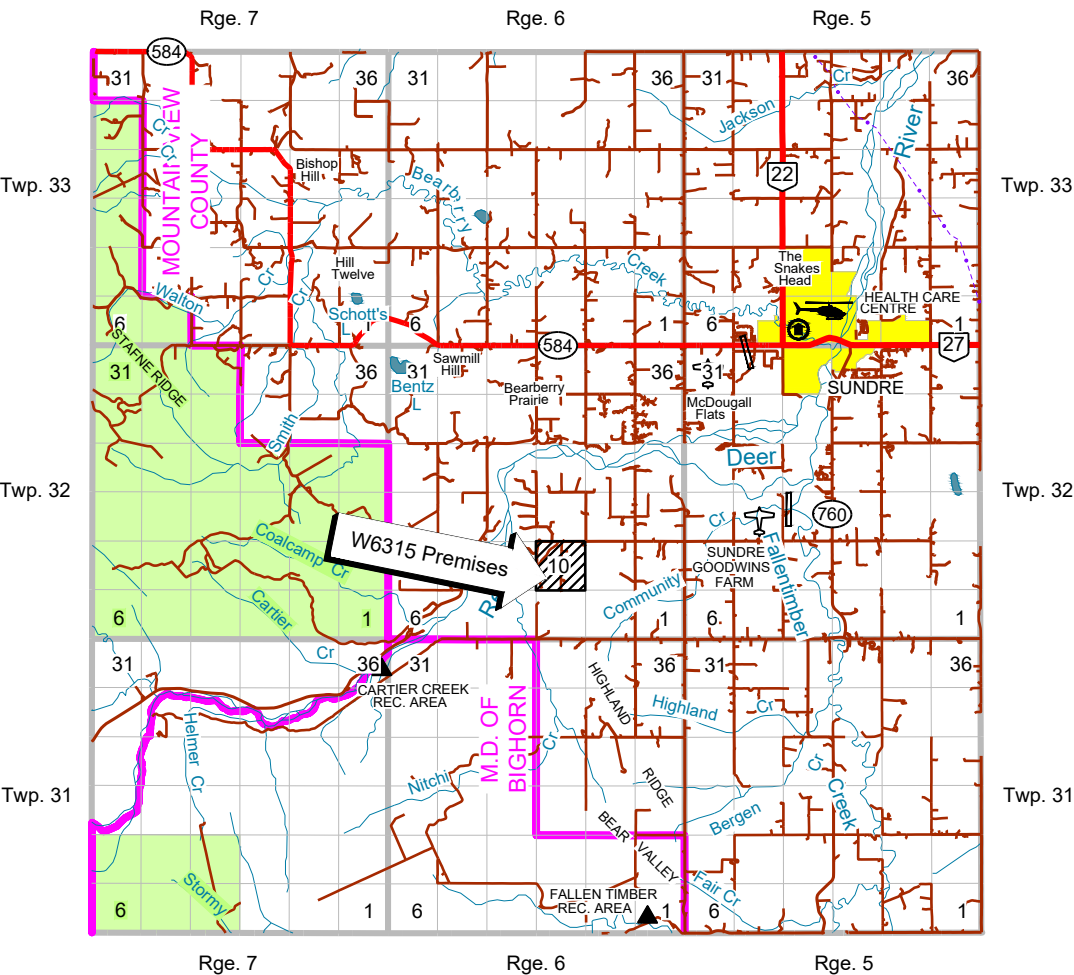
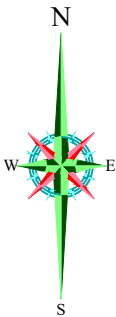
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SCHEDULE 'B'



AERIAL DETAIL - SCALE 1:5000

SCHEDULE 'B'



ACCESS MAP
Scale 1:250 000

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				PAGE 5/5	REV. 0

SITE CANDIDATE INFORMATION PACKAGE

SITE PHOTOGRAPHS

W6315 – Pioneer Camp Lodge

PHOTOGRAPH # 1

From Premises centre facing North



PHOTOGRAPH # 2

From Premises centre facing East



SITE CANDIDATE INFORMATION PACKAGE

SITE PHOTOGRAPHS

PHOTOGRAPH # 3

From Premises centre facing South



PHOTOGRAPH # 4

From Premises centre facing West



SITE CANDIDATE INFORMATION PACKAGE

SITE PHOTOGRAPHS

PHOTOGRAPH # 5

From Access facing existing Approach



SITE CANDIDATE INFORMATION PACKAGE

PHOTOGRAPH # 6

From existing Approach facing Access and existing overhead power

